

1. THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES IT UPON THEMSELVES THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.
2. THE ESTIMATED QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES, AND SITE VISITATION.
3. ALL EARTHWORK CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAILS AND/OR SPECIFICATIONS INCLUDING ANY SUPPLEMENTS THERETO, AND ALL ADDENDA. THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATION OF THE SOIL INVESTIGATION REPORT AND LETTER, AS PREPARED BY RAMM & ASSOCIATES, INC., PHONE NO. (480) 921-8100, PROJECT NO. G24271, DATED AUGUST 16, 2017.
4. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
5. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, POWER POLES, ETC.
7. THE CONTRACTOR SHALL MAKE NO CLAIM AGAINST THE OWNER OR THE SURVEYOR REGARDING ALLEGED INACCURACY OF CONSTRUCTION STAKES SET BY THE SURVEYOR UNLESS ALL SURVEY STAKES SET BY THE ENGINEER ARE MAINTAINED INTACT AND CAN BE VERIFIED AS TO THEIR ORIGIN. IF, IN THE OPINION OF THE SURVEYOR, THE STAKES ARE NOT MAINTAINED INTACT AND CANNOT BE VERIFIED AS TO THEIR ORIGIN, ANY REMEDIAL WORK REQUIRED TO CORRECT ANY ITEM OF IMPROPER CONSTRUCTION WORK SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR.
8. THE SURVEYOR WILL MAKE FIELD AS-BUILT MEASUREMENTS OF THE WORK UPON NOTIFICATION BY THE CLIENT OR HIS REPRESENTATIVE THAT THE WORK IS COMPLETE AND READY FOR AS-BUILT SURVEY. FOR PIPE WORK, THE CONTRACTOR IS RESPONSIBLE FOR LEAVING TRENCHES OPEN SO THAT AS-BUILTS CAN BE PERFORMED TO COMPLY WITH THE AGENCY'S REQUIREMENTS. (IF THE TRENCHES ARE BACKFILLED AND OBTSCURED TO THE POINT THAT AS-BUILT MEASUREMENTS CANNOT BE PERFORMED, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POTHOLE UTILITY TRENCHES AS NECESSARY TO COMPLETE AN AS-BUILT SURVEY.)
9. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITIONS, OR PAVEMENT CROSS-SLOPES DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT BEING ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
10. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED ACCORDING TO INFORMATION PROVIDED BY THE AGENCY OPERATING EACH UTILITY. LOCATIONS SHOWN ARE APPROXIMATE ONLY, AND ARE NOT RELIABLE FOR CONSTRUCTION PURPOSES. CALL BLUE STAKE FOR FIELD LOCATION AT (602) 263-1100. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING SHALL BE REPLACED IN LIKE KIND.
11. PRIOR TO CONSTRUCTION, THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
12. ANY INSPECTION BY THE CITY, COUNTY, ENGINEER, OR OTHER JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
13. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL STORM DRAIN PIPES, STORM WATER RETENTION PIPES AND DRAINAGE FACILITIES FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION. THE DEPTH OF COVER ON THE STORM DRAIN PIPE IS DESIGNED FOR FINAL GRADE. THEREFORE, EXTRA CARE SUCH AS BERMING OVER PIPES, FLAGGING OR SIGNAGE SHOULD BE USED DURING CONSTRUCTION TO MAINTAIN COVER OR PROTECT THE PIPES.
14. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
15. IF PAD CERTIFICATIONS ARE PERFORMED, IT IS UNDERSTOOD THAT THE CERTIFICATION PROVIDES ONLY A REPRESENTATIVE ELEVATION OF THE AVERAGE GRADE OF EACH LOT, BUILDINGS OR UNIT PAD, AND SHALL NOT BE CONSTRUED TO INCLUDE YARD AND STREET SUB-GRADE CERTIFICATION OR CERTIFICATION THAT THE ENTIRE PAD IS LEVEL. THAT IT WAS CONSTRUCTED IN THE DESIGNED LOCATION OR WAS GRADED TO THE CROSS-SECTION SET FORTH ON THE PLANS OR AS DESIGNATED IN THE SOILS REPORT.
16. FINISH GRADES SHOWN ON THESE PLANS ARE THE FINAL FINISH GRADES. CONTRACTOR IS RESPONSIBLE FOR OVER-EXCAVATING LANDSCAPE AREAS TO ALLOW FOR PLANTING AND UTILITY TRENCHING SPOILS AND FOR THE FINAL LANDSCAPE TREATMENT (DECOMPOSED GRANITE, LAWN, ETC.).
17. UNDERGROUND UTILITIES SHALL BE MARKED IN ACCORDANCE WITH SECTION 40-360 OF THE ARIZONA REVISED STATUTES AND LOCAL MUNICIPALITY REQUIREMENTS.
18. SEWER SERVICES SHALL BE INSTALLED TO 5 FEET OF COVER AT 2 FEET BELOW THE PUE, WHERE POSSIBLE.

COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601.

CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS.

THE ENGINEERING DESIGN ON THESE PLANS IS ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES. IN ADDITION, THE PROPERTY OWNER MUST DEDICATE STREETS IN ACCORDANCE WITH MINIMUM RIGHT-OF-WAY STANDARDS MAP (ORDINANCE NO. 437, LATEST AMENDMENT).

PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF CIVIL ENGINEERING PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.

THE CITY OF PHOENIX PLANNING AND DEVELOPMENT CIVIL/SITE INSPECTION GROUP, 602-262-7811 VOICE OR 602-534-5500 TTY, SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY CONSTRUCTION WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

EXISTING OR NEWLY DAMAGED AND/OR DISPLACED CONCRETE CURB, GUTTER, SIDEWALK, OR DRIVEWAY SLAB THAT IS WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED OR REPLACED, AS NOTED BY CITY INSPECTORS, BEFORE FINAL ACCEPTANCE OF THE WORK.

ALL NEW OR RELOCATED UTILITIES SHALL BE PLACED UNDERGROUND.

THE ACTUAL POINT OF PAVEMENT MATCHING, AND/OR TERMINATION, SHALL BE DETERMINED IN THE FIELD BY THE PLANNING AND DEVELOPMENT DEPARTMENT CIVIL/SITE INSPECTOR.

AN APPROVED PAVING PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.

OBSTRUCTIONS TO PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY SHALL BE REMOVED OR RELOCATED BEFORE BEGINNING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.

ALL EXISTING CATCH BASINS MUST BE RE-LOCATED WHEN THEY ARE SHOWN IN A NEWLY PROPOSED DRIVEWAY.

CONSTRUCTION OF SURFACE IMPROVEMENTS SHALL NOT BEGIN UNTIL CONFLICTING UNDERGROUND UTILITY CONSTRUCTION IS COMPLETED AND SERVICE CONNECTIONS TO ALL PLATTED LOTS HAVE BEEN ADEQUATELY EXTENDED PAST THE RIGHT-OF-WAY.

THE PERMIT HOLDER SHALL ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, INCLUDING ANY STREET LIGHTS, AND SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT. RELOCATION OF WATER METERS SHALL BE DONE BY THE WATER SERVICES DEPARTMENT AFTER PAYMENT OF PREVAILING FEES. RELOCATION OF CITY FIRE HYDRANTS REQUIRE A SEPARATE PLAN REVIEW AND PERMIT AT THE DEVELOPER'S EXPENSE.

ALL FRAMES, COVERS, VALVE BOXES, AND MANHOLE COVERS SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO COMPLETION OF PAVING OR RELATED CONSTRUCTION. ADJUSTMENT OF EXISTING "TYPE A" OR "TYPE B" WATERLINE VALVE BOXES IN THE PARKWAY SHALL BE CONSIDERED INCIDENTAL TO PARKWAY GRADING. EXISTING "TYPE B" WATERLINE VALVE BOXES SHALL BE REPLACED WITH "TYPE A" BOXES PER COP STANDARD DETAIL P1391.

GRADING BETWEEN BACK OF CURB AND PROPERTY LINE SHALL BE LIMITED TO 4:1 SLOPE.

CERTIFICATE OF OCCUPANCY (C O F O) AND/OR FINAL ELECTRICAL CLEARANCE FOR ANY BUILDING IS DENIED UNTIL ALL OFFSITE IMPROVEMENTS ARE COMPLETED.

TREES AND SHRUBBERY IN THE RIGHT-OF-WAY THAT CONFLICT WITH PROPOSED IMPROVEMENTS SHALL NOT BE REMOVED WITHOUT APPROVAL OF THE CITY LANDSCAPE ARCHITECT. THE PERMIT HOLDER SHALL BE RESPONSIBLE FOR OBTAINING AUTHORIZATION TO REMOVE AND/OR RELOCATE SAID TREES OR SHRUBBERY BY CALLING THE PARKS & RECREATION DEPARTMENT PRIOR TO ANY RIGHT-OF-WAY PLANT RELOCATIONS AT 602-262-6862.

THE PLANNING AND DEVELOPMENT CIVIL/SITE INSPECTOR MUST CONTACT STREET TRANSPORTATION DEPARTMENT, TRAFFIC SERVICES DIVISION AT 602-495-0205 VOICE OR 602-534-5500 TTY TWO (2) WEEKS PRIOR TO COMPLETION OF PAVING WORK FOR SIGNING & STRIPING.

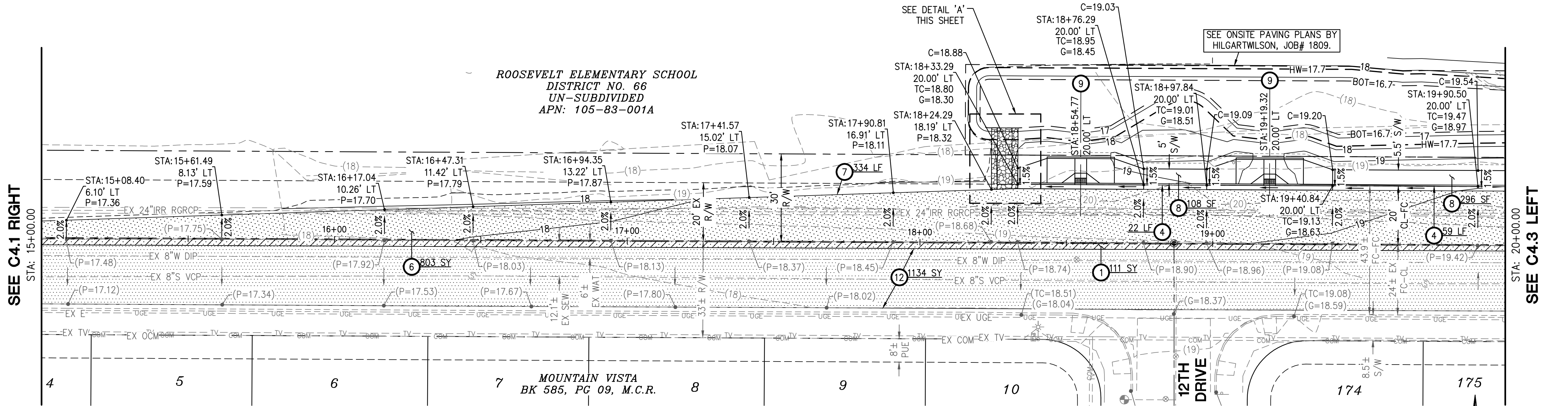
A PAVEMENT CUT SURCHARGE SHALL BE ASSESSED ON THIS PROJECT FOR ANY TRENCHING OR POTHOLING IN NEW ASPHALT PAVEMENT THAT IS LESS THAN 30 MONTHS OLD. SURCHARGE FEES ASSESSED ARE IN ADDITION TO THE REGULAR PERMIT FEES AND ARE OVER AND ABOVE ANY SPECIAL BACKFILL, COMPACTION, AND PAVEMENT REPLACEMENT STIPULATIONS THAT MAY BE IMPOSED AS A CONDITION OF PERMITTING. PAVEMENT CUT SURCHARGE FEES IS ASSESSED IN ACCORDANCE WITH SECTION 31-38 OF THE PHOENIX CITY CODE.

- A. THE DEVELOPER IS RESPONSIBLE FOR MAKING PROPER APPLICATION AND PAYING THE PREVAILING FEES PRIOR TO ANY STREET CONSTRUCTION.
- B. THE PAVING CONTRACTOR IS RESPONSIBLE FOR OBTAINING WATER AND SEWER "AS-BUILT" PLANS BEFORE START OF CONSTRUCTION TO DETERMINE THE LOCATION OF ALL UTILITY RIMS AND COVERS THAT MUST BE ADJUSTED TO FINISH GRADE.
- C. THE PAVING CONTRACTOR SHALL NOT START CONSTRUCTION UNTIL CONFLICTING UNDERGROUND UTILITY CONSTRUCTION IS COMPLETED AND ALL SERVICE STUBS HAVE BEEN EXTENDED TO ALL PLATTED LOTS.
- D. IF THE EXISTING PAVEMENT DOES NOT MEET CITY REQUIREMENTS, THE DEVELOPER WILL BE REQUIRED TO REMOVE AND REPLACE THE PAVEMENT TO STREET CENTERLINE. THE CITY SHALL DETERMINE THE EXACT POINT OF PAVEMENT MATCHING TERMINATION AND OVERLAY IN THE FIELD AS NECESSARY.
- E. ALL EXISTING STREET MONUMENTS MUST BE PRESERVED. PRIOR TO CONSTRUCTION, MONUMENTS WILL BE REFERENCED HORIZONTALLY AND VERTICALLY. AFTER CONSTRUCTION, MONUMENTS SHALL BE RESET AND FIELD NOTES, INCLUDING NEW ELEVATION, SHALL BE FILED WITH THE CITY.
- F. THE MAXIMUM STAKE INTERVAL FOR GRADES OF 0.2% OR LESS SHALL BE 25 FEET FOR CONCRETE WORK AND 50 FEET FOR ASPHALT ROADWAY SECTION, EXCEPT ON HORIZONTAL OR VERTICAL CURVES WHERE A MAXIMUM STAKE INTERVAL OF 20 FEET FOR CONCRETE WORK SHALL BE REQUIRED. ALL CURB RETURNS SHALL BE STAKED AT THE P.C. AND THE MIDPOINT OF THE RETURN. NO GRADE STAKE INTERVAL SHALL EXCEED 50 FEET.
- G. THE PAVING CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL NEW PAVEMENT MARKINGS AND THE REMOVAL OF ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH THE NEW PAVEMENT MARKINGS.
- H. ASPHALT MIX DESIGNS SHALL BE PREPARED AND SUBMITTED FOR APPROVAL IN ACCORDANCE WITH THE CITY OF GLENDALE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

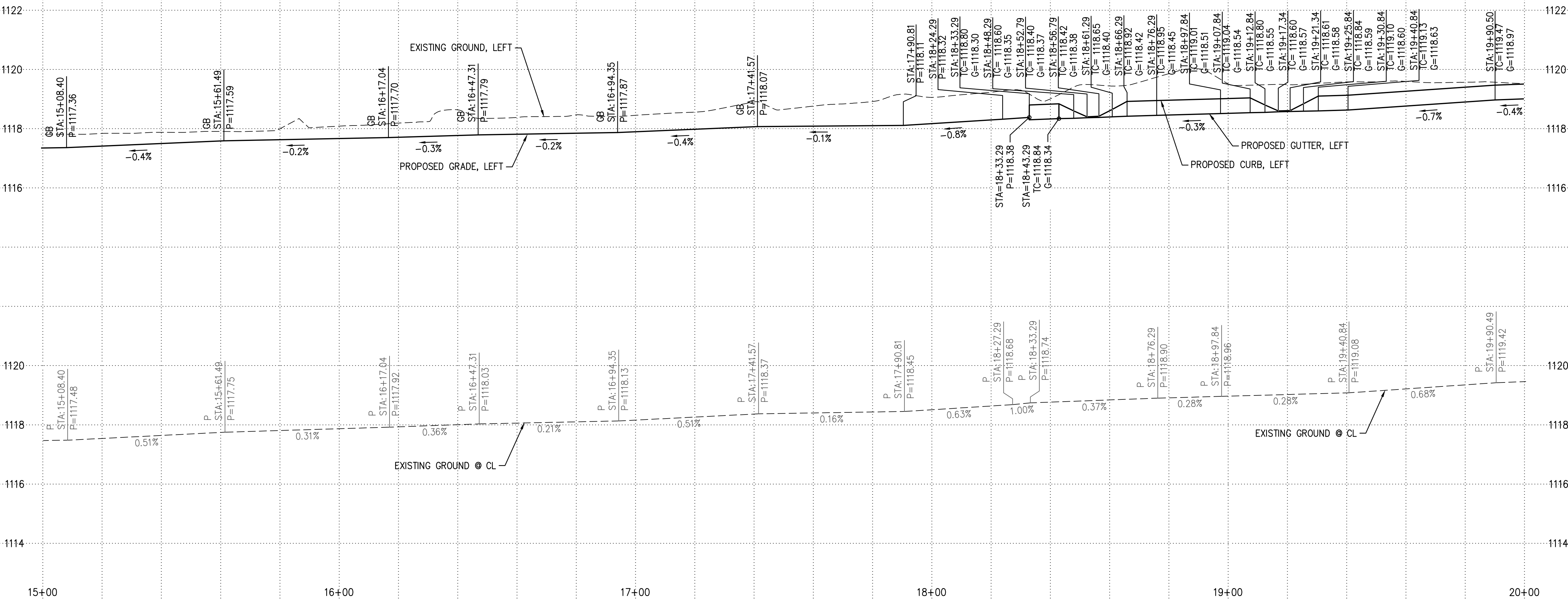




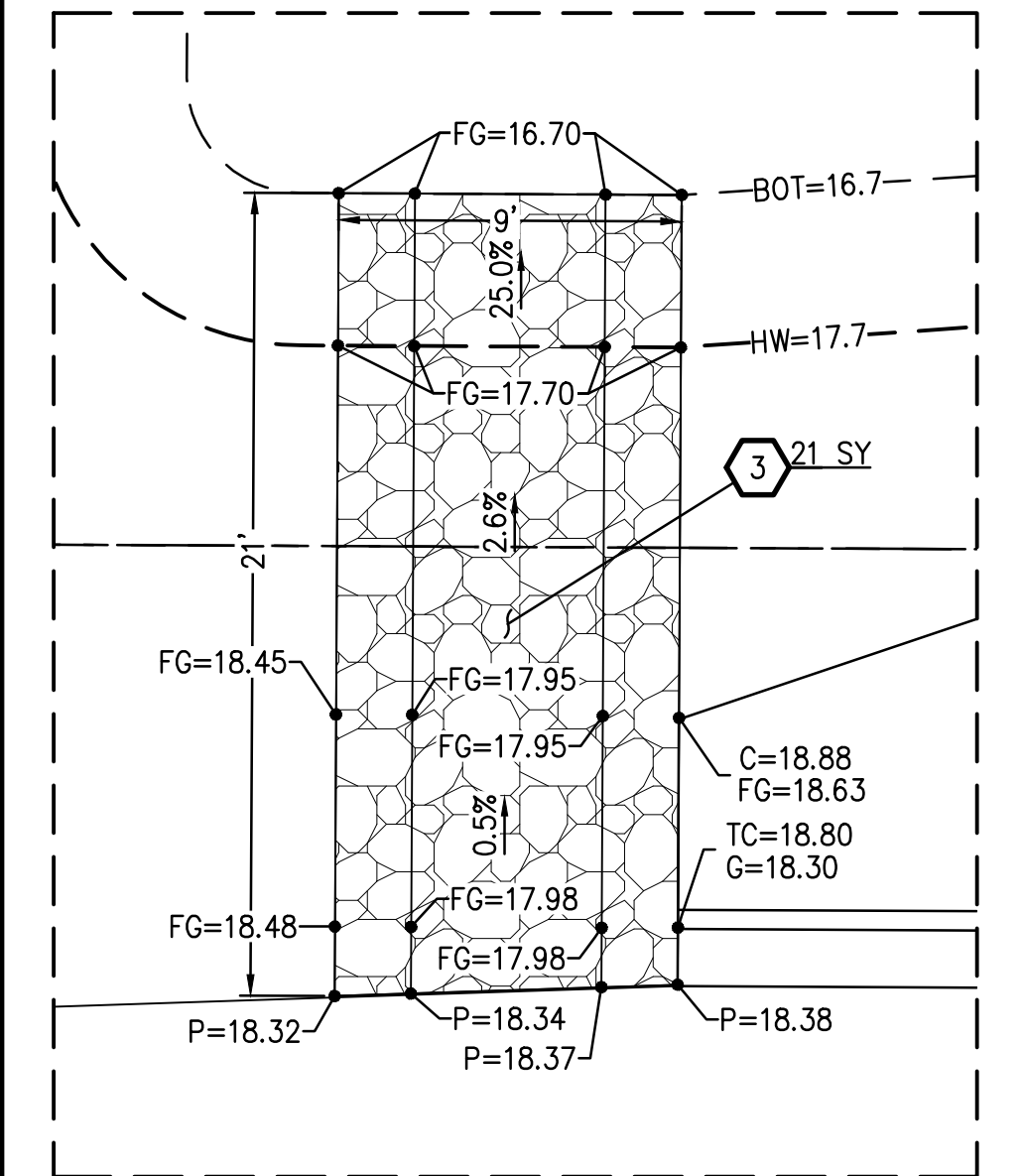
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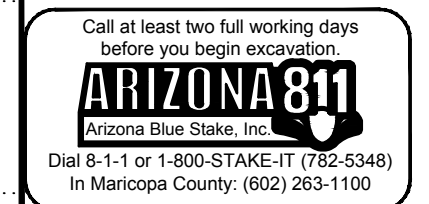
## VINEYARD STREET




- PAVING CONSTRUCTION NOTES
- SAWCUT, REMOVE & REPLACE EXISTING PAVEMENT, A MINIMUM OF 2" MATCH IN-KIND. 111 SY
  - CONSTRUCT 6" VERTICAL CURB & GUTTER PER MAG STD DTL 220-1, TYPE 'A'. 81 LF
  - INSTALL A MINIMUM 4" AC ON 10" ABC OR MATCH EXISTING PAVEMENT IN-KIND AND THICKNESS, WHICHEVER IS GREATER. 803 SY
  - CONSTRUCT THICKENED EDGE OF PAVEMENT PER MAG STD DTL 201, TYPE 'A'. 334 LF
  - CONSTRUCT 4" THICK CONCRETE SIDEWALK & JOINTS PER MAG STD DTL 230 AND MAG SPECS 340, 725 & 729. CROSS SLOPES NOT TO EXCEED 2%, LONGITUDINAL SLOPES NOT TO EXCEED 5%. 404 SF
  - CONSTRUCT SIDEWALK RAMP PER COP STD DTL 1241-1. 2 EA
  - APPLY SLURRY SEAL COAT IN ACCORDANCE WITH MAG STD SPEC 332. THE SLURRY SEAL AGGREGATE SHALL BE TYPE II PER MAG SPEC 715. THIS SEAL COAT SHALL EXTEND FROM EDGE OF PAVEMENT OR LIP OF GUTTER FOR ENTIRE WIDTH OF THE STREET FOR 25.0' MIN. IN BOTH DIRECTIONS FROM PAVEMENT CUT(S). 1134 SY
- STORM DRAIN CONSTRUCTION NOTES
- INSTALL GROUTED RIP-RAP D50=6", 12" THICK PER DETAIL 1 ON SHEET C4.1. 21 SY



DETAIL 'A'  
N.T.S.



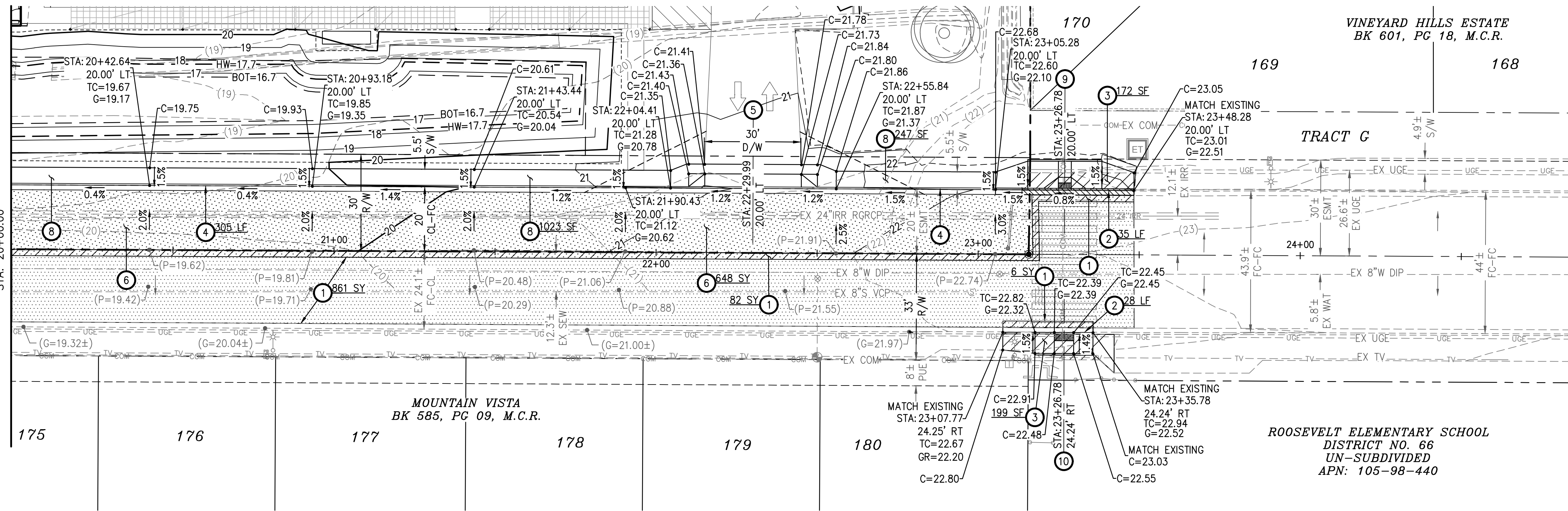
**SPACES OF OPPORTUNITY - GARDEN**  
6641 S. 15TH AVE  
PHOENIX, ARIZONA 85041

OFFSITE PAVING PLAN			
PROJ. NO.	1809	 <b>HILGARTWILSON</b>	
DATE:	MARCH, 2018		
SCALE:		DESIGNED: EQ	DRAWN: EQ
REV.		APPROVED: CW	DWG. NO.
			<b>C4.2</b>
			SHT. 3 OF 4

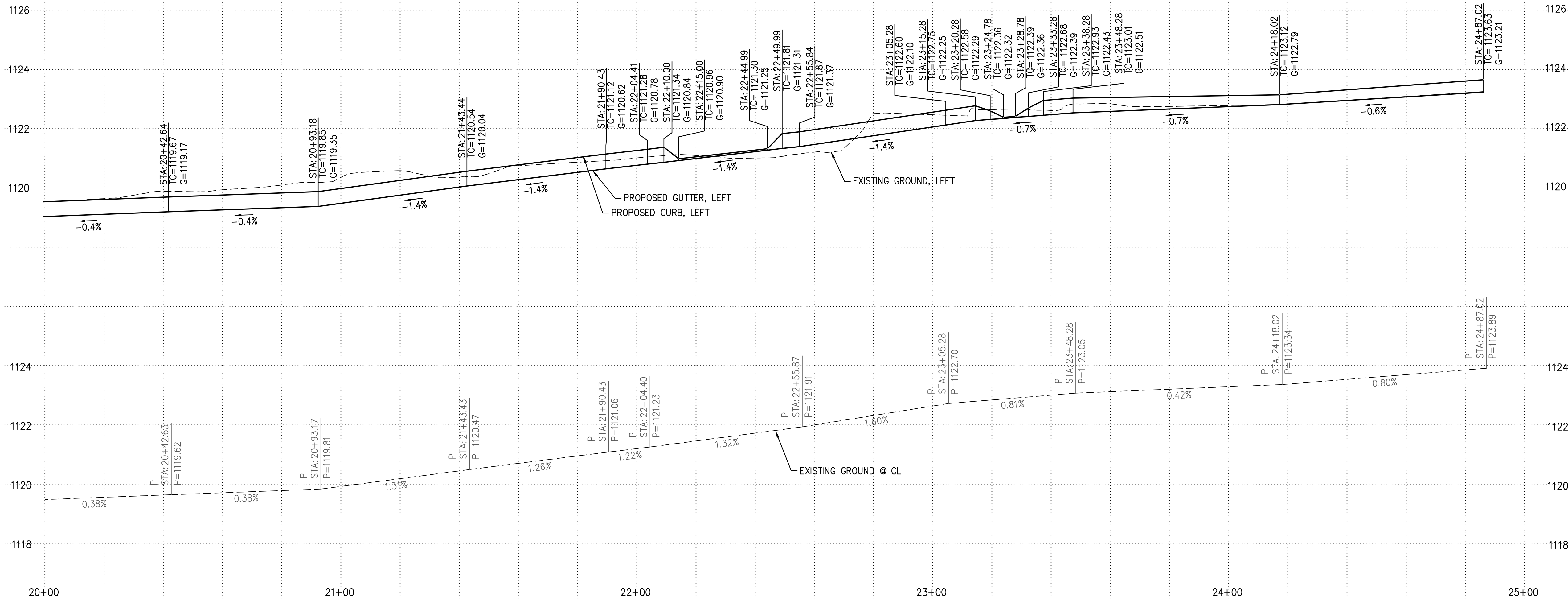
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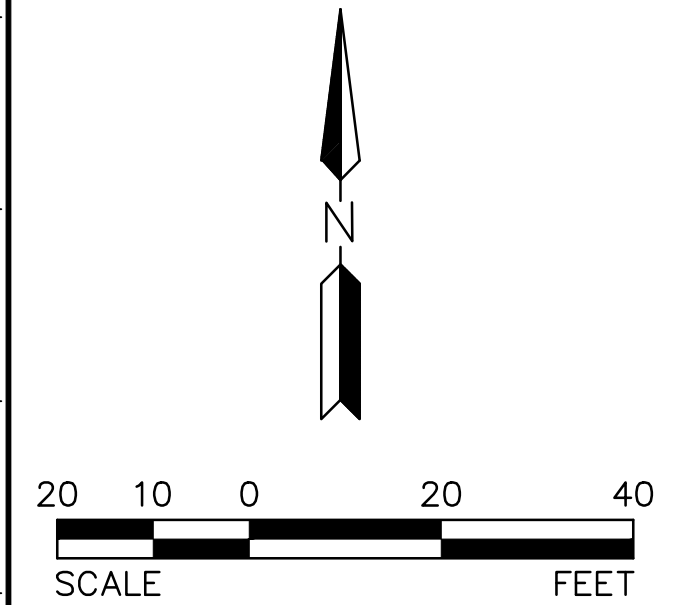
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## VINEYARD STREET




- PAVING CONSTRUCTION NOTES
- 1 SAWCUT, REMOVE & REPLACE EXISTING PAVEMENT, A MINIMUM OF 2' MATCH IN-KIND. 951 SY
  - 2 SAWCUT AND REMOVE EXISTING CURB AND GUTTER. 70 LF
  - 3 SAWCUT AND REMOVE EXISTING SIDEWALK. 433 SF
  - 4 CONSTRUCT 6" VERTICAL CURB & GUTTER PER MAG STD DTL 220-1, TYPE 'A'. 305 LF
  - 5 CONSTRUCT CONCRETE DRIVEWAY PER COP STD DTL P1255-2. 1 EA
  - 6 INSTALL A MINIMUM 4" AC ON 10" ABC OR MATCH EXISTING PAVEMENT IN-KIND AND THICKNESS, WHICHEVER IS GREATER. 648 SY
  - 8 CONSTRUCT 4" THICK CONCRETE SIDEWALK & JOINTS PER MAG STD DTL 230 AND MAG SPECS 340, 725 & 729. CROSS SLOPES NOT TO EXCEED 2%, LONGITUDINAL SLOPES NOT TO EXCEED 5%. 1270 SF
  - 9 CONSTRUCT SIDEWALK RAMP PER COP STD DTL 1241-1. 1 EA
  - 10 CONSTRUCT SIDEWALK RAMP PER COP STD DTL 1241-4. 1 EA



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### OFFSITE PAVING PLAN

PROJ. NO.		1809	 <b>HILGARTWILSON</b>	
DATE:		MARCH, 2018		
SCALE:				
DESIGNED: EQ		DRAWN: EQ	APPROVED: CW	
REV.			DWG. NO.	
			<b>C4.3</b>	
			SHT. 4 OF 4	