2. THE ESTIMATED QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES, AND SITE VISITATION.

- 3. ALL EARTHWORK CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAILS AND/OR SPECIFICATIONS INCLUDING ANY SUPPLEMENTS THERETO, AND ALL ADDENDA. THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATION OF THE SOIL INVESTIGATION REPORT AND LETTER, AS PREPARED BY RAMM & ASSOCIATES, INC., PHONE NO. (480) 921-8100, PROJECT NO. G24271, DATED AUGUST 16, 2017.
- 4. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
- 5. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS. METHODS. TECHNIQUES. SEQUENCES. PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 6. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, POWER POLES, ETC.
- THE CONTRACTOR SHALL MAKE NO CLAIM AGAINST THE OWNER OR THE SURVEYOR REGARDING ALLEGED INACCURACY OF CONSTRUCTION STAKES SET BY THE SURVEYOR UNLESS ALL SURVEY STAKES SET BY THE ENGINEER ARE MAINTAINED INTACT AND CAN BE VERIFIED AS TO THEIR ORIGIN. IF. IN THE OPINION OF THE SURVEYOR. THE STAKES ARE NOT MAINTAINED INTACT AND CANNOT BE VERIFIED AS TO THEIR ORIGIN, ANY REMEDIAL WORK REQUIRED TO CORRECT ANY ITEM OF IMPROPER CONSTRUCTION WORK SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR.
- 8. THE SURVEYOR WILL MAKE FIELD AS-BUILT MEASUREMENTS OF THE WORK UPON NOTIFICATION BY THE CLIENT OR HIS REPRESENTATIVE THAT THE WORK IS COMPLETE AND READY FOR AS-BUILT SURVEY FOR PIPE WORK, THE CONTRACTOR IS RESPONSIBLE FOR LEAVING TRENCHES OPEN SO THAT AS-BUILTS CAN BE PERFORMED TO COMPLY WITH THE AGENCY'S REQUIREMENTS. (IF THE TRENCHES ARE BACKFILLED AND OBSCURED TO THE POINT THAT AS-BUILT MEASUREMENTS CANNOT BE PERFORMED, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POTHOLE UTILITY TRENCHES AS NECESSARY TO COMPLETE AN AS-BUILT SURVEY.)
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION. AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITIONS, OR PAVEMENT CROSS-SLOPES DIFFER FROM THAT SHOWN ON THESE PLANS RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT BEING ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- 10. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED ACCORDING TO INFORMATION PROVIDED BY THE AGENCY OPERATING EACH UTILITY. LOCATIONS SHOWN ARE APPROXIMATE ONLY, AND ARE NOT RELIABLE FOR CONSTRUCTION PURPOSES. CALL BLUE STAKE FOR FIELD LOCATION AT (602) 263-1100. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE. ANY DAMAGE TO EXISTING UTILITIES. WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING SHALL BE REPLACED IN LIKE KIND.
- 11. PRIOR TO CONSTRUCTION, THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
- 12. ANY INSPECTION BY THE CITY, COUNTY, ENGINEER, OR OTHER JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
- 13. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL STORM DRAIN PIPES, STORM WATER RETENTION PIPES AND DRAINAGE FACILITIES FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION. THE DEPTH OF COVER ON THE STORM DRAIN PIPE IS DESIGNED FOR FINAL GRADE. THEREFORE, EXTRA CARE SUCH AS BERMING OVER PIPES, FLAGGING OR SIGNAGE SHOULD BE USED DURING CONSTRUCTION TO MAINTAIN COVER OR PROTECT THE PIPES.
- 14. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
- 15. IF PAD CERTIFICATIONS ARE PERFORMED, IT IS UNDERSTOOD THAT THE CERTIFICATION PROVIDES ONLY A REPRESENTATIVE ELEVATION OF THE AVERAGE GRADE OF EACH LOT, BUILDINGS OR UNIT PAD, AND SHALL NOT BE CONSTRUED TO INCLUDE YARD AND STREET SUB-GRADE CERTIFICATION OR CERTIFICATION THAT THE ENTIRE PAD IS LEVEL, THAT IT WAS CONSTRUCTED IN THE DESIGNED LOCATION OR WAS GRADED TO THE CROSS-SECTION SET FORTH ON THE PLANS OR AS DESIGNATED IN THE SOILS REPORT.
- 16. FINISH GRADES SHOWN ON THESE PLANS ARE THE FINAL FINISH GRADES. CONTRACTOR IS RESPONSIBLE FOR OVER-EXCAVATING LANDSCAPE AREAS TO ALLOW FOR PLANTING AND UTILITY TRENCHING SPOILS AND FOR THE FINAL LANDSCAPE TREATMENT (DECOMPOSED GRANITE, LAWN, ETC.).
- 17. UNDERGROUND UTILITIES SHALL BE MARKED IN ACCORDANCE WITH SECTION 40-360 OF THE ARIZONA REVISED STATUTES AND LOCAL MUNICIPALITY REQUIREMENTS.
- 18. SEWER SERVICES SHALL BE INSTALLED TO 5 FEET OF COVER AT 2 FEET BEHIND THE PUE, WHERE POSSIBLE.

PAVING NOTES. (CITY OF PHOENIX)

- CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS.
- 3. THE ENGINEERING DESIGN ON THESE PLANS IS ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES. IN ADDITION, THE PROPERTY OWNER MUST DEDICATE STREETS IN ACCORDANCE WITH MINIMUM RIGHT-OF-WAY STANDARDS MAP (ORDINANCE NO. 437. LATEST AMENDMENT)
- 4. PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF CIVIL ENGINEERING PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.
- THE CITY OF PHOENIX PLANNING AND DEVELOPMENT CIVIL/SITE INSPECTION GROUP, 602-262-7811 VOICE OR 602-534-5500 TTY. SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY CONSTRUCTION WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- EXISTING OR NEWLY DAMAGED AND/OR DISPLACED CONCRETE CURB, GUTTER, SIDEWALK. OR DRIVEWAY SLAB THAT IS WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED OR REPLACED, AS NOTED BY CITY INSPECTORS, BEFORE FINAL ACCEPTANCE OF THE WORK.
- ALL NEW OR RELOCATED UTILITIES SHALL BE PLACED UNDERGROUND.
- 8. THE ACTUAL POINT OF PAVEMENT MATCHING, AND/OR TERMINATION, SHALL BE DETERMINED IN THE FIELD BY THE PLANNING AND DEVELOPMENT DEPARTMENT CIVIL/SITE INSPECTOR.
- AN APPROVED PAVING PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- 10. OBSTRUCTIONS TO PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY SHALL BE REMOVED OR RELOCATED BEFORE BEGINNING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- 11. ALL EXISTING CATCH BASINS MUST BE RE-LOCATED WHEN THEY ARE SHOWN IN A NEWLY PROPOSED DRIVEWAY.
- CONSTRUCTION OF SURFACE IMPROVEMENTS SHALL NOT BEGIN UNTIL CONFLICTING UNDERGROUND UTILITY CONSTRUCTION IS COMPLETED AND SERVICE CONNECTIONS TO ALL PLATTED LOTS HAVE BEEN ADEQUATELY EXTENDED PAST THE RIGHT-OF-
- THE PERMIT HOLDER SHALL ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, INCLUDING ANY STREET LIGHTS, AND SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT RELOCATION OF WATER METERS SHALL BE DONE BY THE WATER SERVICES DEPARTMENT AFTER PAYMENT OF PREVAILING FEES. RELOCATION OF CITY FIRE HYDRANTS REQUIRE A SEPARATE PLAN REVIEW AND PERMIT AT THE DEVELOPER'S EXPENSE.
- 14. ALL FRAMES, COVERS, VALVE BOXES, AND MANHOLE COVERS SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO COMPLETION OF PAVING OR RELATED CONSTRUCTION. ADJUSTMENT OF EXISTING "TYPE A" OR "TYPE B" WATERLINE VALVE BOXES IN THE PARKWAY SHALL BE CONSIDERED INCIDENTAL TO PARKWAY GRADING. EXISTING "TYPE B" WATERLINE VALVE BOXES SHALL BE REPLACED WITH "TYPE A" BOXES PER COP STANDARD DETAIL P1391.
- 15. GRADING BETWEEN BACK OF CURB AND PROPERTY LINE SHALL BE LIMITED TO 4:1
- 16. CERTIFICATE OF OCCUPANCY (C OF O) AND/OR FINAL ELECTRICAL CLEARANCE FOR ANY BUILDING IS DENIED UNTIL ALL OFFSITE IMPROVEMENTS ARE COMPLETED.
- 17. TREES AND SHRUBBERY IN THE RIGHT—OF—WAY THAT CONFLICT WITH PROPOSED IMPROVEMENTS SHALL NOT BE REMOVED WITHOUT APPROVAL OF THE CITY LANDSCAPE ARCHITECT. THE PERMIT HOLDER SHALL BE RESPONSIBLE FOR OBTAINING AUTHORIZATION TO REMOVE AND/OR RELOCATE SAID TREES OR SHRUBBERY BY CALLING THE PARKS & RECREATION DEPARTMENT PRIOR TO ANY RIGHT-OF-WAY PLANT RELOCATIONS AT 602-262-6862.
- 18. THE PLANNING AND DEVELOPMENT CIVIL/SITE INSPECTOR MUST CONTACT STREET TRANSPORTATION DEPARTMENT, TRAFFIC SERVICES DIVISION AT 602-495-0205 VOICE OR 602-534-5500 TTY TWO (2) WEEKS PRIOR TO COMPLETION OF PAVING WORK FOR SIGNING & STRIPING.
- 19. A PAVEMENT CUT SURCHARGE SHALL BE ASSESSED ON THIS PROJECT FOR ANY TRENCHING OR POTHOLING IN NEW ASPHALT PAVEMENT THAT IS LESS THAN 30 MONTHS OLD. SURCHARGE FEES ASSESSED ARE IN ADDITION TO THE REGULAR PERMIT FEES AND ARE OVER AND ABOVE ANY SPECIAL BACKFILL, COMPACTION, AND PAVEMENT REPLACEMENT STIPULATIONS THAT MAY BE IMPOSED AS A CONDITION OF PERMITTING. PAVEMENT CUT SURCHARGE FEES IS ASSESSED IN ACCORDANCE WITH SECTION 31-38 OF THE PHOENIX CITY CODE.

GENERAL NOTES FOR STREET CONSTRUCTION

- A. THE DEVELOPER IS RESPONSIBLE FOR MAKING PROPER APPLICATION AND PAYING THE
- PREVAILING FEES PRIOR TO ANY STREET CONSTRUCTION.
- B. THE PAVING CONTRACTOR IS RESPONSIBLE FOR OBTAINING WATER AND SEWER "AS-BUILT" PLANS BEFORE START OF CONSTRUCTION TO DETERMINE THE LOCATION OF ALL UTILITY RIMS AND COVERS THAT MUST BE ADJUSTED TO FINISH GRADE.
- C. THE PAVING CONTRACTOR SHALL NOT START CONSTRUCTION UNTIL CONFLICTING UNDERGROUND UTILITY CONSTRUCTION IS COMPLETED AND ALL SERVICE STUBS HAVE BEEN EXTENDED TO ALL PLATTED LOTS.
- D. IF THE EXISTING PAVEMENT DOES NOT MEET CITY REQUIREMENTS, THE DEVELOPER WILL BE REQUIRED TO REMOVE AND REPLACE THE PAVEMENT TO STREET CENTERLINE. THE CITY SHALL DETERMINE THE EXACT POINT OF PAVEMENT MATCHING TERMINATION AND OVERLAY IN THE FIELD AS NECESSARY.
- E. ALL EXISTING STREET MONUMENTS MUST BE PRESERVED. PRIOR TO CONSTRUCTION, MONUMENTS WILL BE REFERENCED HORIZONTALLY AND VERTICALLY. AFTER CONSTRUCTION, MONUMENTS SHALL BE RESET AND FIELD NOTES, INCLUDING NEW ELEVATION, SHALL BE FILED WITH THE CITY.
- F. THE MAXIMUM STAKE INTERVAL FOR GRADES OF 0.2% OR LESS SHALL BE 25 FEET FOR CONCRETE WORK AND 50 FEET FOR ASPHALT ROADWAY SECTION, EXCEPT ON HORIZONTAL OR VERTICAL CURVES WHERE A MAXIMUM STAKE INTERVAL OF 20 FEET FOR CONCRETE WORK SHALL BE REQUIRED. ALL CURB RETURNS SHALL BE STAKED AT THE P.C. AND THE MIDPOINT OF THE RETURN. NO GRADE STAKE INTERVAL SHALL EXCEED 50 FEET.
- G. THE PAVING CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL NEW PAVEMENT MARKINGS AND THE REMOVAL OF ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH THE NEW PAVEMENT MARKINGS.
- H. ASPHALT MIX DESIGNS SHALL BE PREPARED AND SUBMITTED FOR APPROVAL IN ACCORDANCE WITH THE CITY OF GLENDALE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

OFFSITE PAVING PLAN SPACES OF OPPORTUNITY - GARDEN

PHOENIX, ARIZONA

LEGEND

---- EASEMENT LINE

◆ - - - - ◆ GRADE BREAK

----(100)---- EX. CONTOURS

- - - - RIGHT OF WAY LINE

—— CENTER LINE

PROPERTY LINE

CONTOURS

EX. STORM DRAIN PIPE

—— s ——— EX. SEWERLINE

LIMITS OF CONSTRUCTION

EX. SEWER MANHOLE

EX. FIRE HYDRANT

EX. WATER VALVE

EX. TELEPHONE LINE

EX. OVERHEAD ELECTRIC

PROPOSED LIGHT POLE

PROPOSED FIRE HYDRANT

SIGHT VISIBILITY TRIANGLE

EX. ELECTRIC LINE

FX. WATER METER

EX. LIGHT POLE

EX. FENCE

PAVEMENT

CONCRETE

DRIVEWAY

FACE OF CURB

RIGHT OF WAY

TOP OF CURB

RIM ELEVATION

FINISH FLOOR ELEVATION

DIRECTION OF DRAINAGE

LANDSCAPE

SIDEWALK

GRATE

FFE=

GR

GUTTER

FINISH GROUND

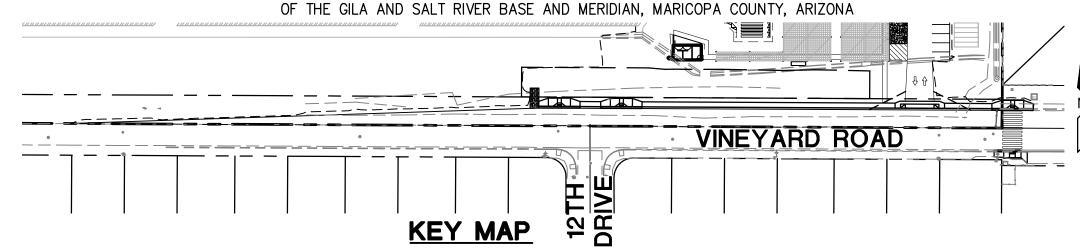
EXISTING GRADE

VOLUME REQUIRED

VOLUME PROVIDED

EX. WATERLINE

A PORTION OF THE NORTHEAST QUARTER OF SECTION 31. TOWNSHIP 1 NORTH, RANGE 3 EAST



1503 SY

486 LF

1 EA

21 SY

ENGINEERS ESTIMATED QUANTITIES

NOTE: ENGINEERS ESTIMATED QUANTITIES ARE NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL BASE THEIR BID ON THEIR OWN QUANTITY TAKEOFFS.

SAWCUT, REMOVE & REPLACE EXISTING PAVEMENT, A MINIMUM OF 2'. MATCH IN-KIND.	235
2 SAWCUT AND REMOVE EXISTING CURB AND GUTTER.	70
3 SAWCUT AND REMOVE EXISTING SIDEWALK.	433
CONSTRUCT 6" VERTICAL CURB & GUTTER PER MAG STD DTL 220-1, TYPE 'A'.	386
(5) CONSTRUCT CONCRETE DRIVEWAY PER COP STD DTL	1

- 6) INSTALL A MINIMUM 4" AC ON 10" ABC OR MATCH EXISTING PAVEMENT IN-KIND AND THICKNESS, WHICHEVER IS GREATER. 7) CONSTRUCT THICKENED EDGE OF PAVEMENT PER MAG
- STD DTL 201, TYPE 'A'. (8) CONSTRUCT 4" THICK CONCRETE SIDEWALK & JOINTS PER MAG STD DTL 230 AND MAG SPECS 340, 725 & 729. CROSS SLOPES NOT TO EXCEED 2%, LONGITUDINAL
- SLOPES NOT TO EXCEED 5%. (9) CONSTRUCT SIDEWALK RAMP PER COP STD DTL 1241-1 3 EA
- (10) CONSTRUCT SIDEWALK RAMP PER COP STD DTL 1241-4. STORM DRAIN CONSTRUCTION NOTES

PAVING CONSTRUCTION NOTES

(3) INSTALL GROUTED RIP-RAP D50=6", 12 THICK PER DETAIL 1 ON SHEET C4.1.

GENERAL NOTES FOR CONSTRUCTION

- A. ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST MAG STANDARD DETAILS AND SPECIFICATIONS AND THE CITY'S CURRENT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.
- B. THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE. REVIEW AND APPROVAL OF PLANS DOES NOT RELEASE ANY DEVELOPER OR ENGINEER FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS ON SAID PLANS.
- C. THE CITY DOES NOT WARRANT ANY QUANTITIES SHOWN ON THESE PLANS. D. THE CITY APPROVAL IS FOR GENERAL LAYOUT IN THE RIGHT-OF-WAY ONLY. THIS APPROVAL IS VALID FOR A PERIOD OF SIX MONTHS. CONSTRUCTION PERMITS SHALL
- BE OBTAINED DURING THIS PERIOD OR THE PLANS SHALL BE RESUBMITTED FOR REVIEW AND APPROVAL. THE CITY'S REVIEW OF ALL NPDES SUBMITTALS INCLUDING NOI, NOT & SWPPP IS INTENDED AS REVIEW ONLY AND DOES NOT CONSTITUTE APPROVAL OF THE METHODS OR PLANS FOR CLEANING THE STORM WATER AND PROTECTING THE WATERS OF THE UNITED STATES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INSURING THAT ALL REQUIREMENTS OF THE CLEAN WATER ACT ARE STRICTLY ENFORCED.
- E. AN APPROVED SET OF PLANS SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES F. THE CITY SHALL BE NOTIFIED 24 HOURS PRIOR TO ANY CONSTRUCTION WORK. CONSTRUCTION WORK CONCEALED WITHOUT INSPECTION BY THE CITY SHALL BE SUBJECT TO EXPOSURE AT THE CONTRACTOR'S EXPENSE.
- G. A RIGHT-OF-WAY CONSTRUCTION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A 100% PERFORMANCE BOND OR EQUIVALENT FORM OF FINANCIAL SURETY IS REQUIRED FOR ALL WORK WITHIN THE RIGHT-OF-WAY PRIOR TO THE ISSUANCE OF ANY RIGHT-OF-WAY CONSTRUCTION PERMIT(S). ALL CONTRACTORS WORKING WITHIN THE RIGHT-OF-WAY SHALL PROVIDE THE CITY WITH A PROOF OF INSURANCE FORM AND WITH LIMITS OF COVERAGE ACCEPTABLE TO THE CITY. THE CITY SHALL BE NAMED AS ADDITIONAL INSURED. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE INSPECTED AND APPROVED BY THE ENGINEERING DEPARTMENT OF THE CITY.
- H. IMPROVEMENTS SHALL NOT BE ACCEPTED UNTIL "AS-BUILT" PLANS HAVE BEEN SUBMITTED AND APPROVED BY THE CITY.
- THE DEVELOPER IS RESPONSIBLE FOR THE REMOVAL OR RELOCATION OF ALL OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY PRIOR TO STARTING NEW CONSTRUCTION. . THE DEVELOPER IS RESPONSIBLE FOR ARRANGING THE RELOCATION AND ASSOCIATED COSTS OF ALL UTILITIES. A UTILITY RELOCATION SCHEDULE SHALL BE SUBMITTED
- PRIOR TO THE ISSUANCE OF PERMITS K. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING OR DEDICATING ALL REQUIRED RIGHTS-OF-WAY AND EASEMENTS TO THE CITY PRIOR TO ISSUANCE OF PERMITS L. THE CONTRACTOR SHALL CONTACT BLUE STAKE (602-263-1100) 48 HOURS PRIOR
- TO CONSTRUCTION. M. THE CONTRACTOR SHALL BARRICADE CONSTRUCTION SITES AT ALL TIMES PER THE CITY OF PHOENIX TRAFFIC BARRICADE MANUAL. WHEN REQUIRED BY THE CITY A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED FOR APPROVAL A MINIMUM OF 72

HOURS IN ADVANCE OF CONSTRUCTION.

- N. THE CONTRACTOR MAY OBTAIN A FIRE HYDRANT METER FOR CONSTRUCTION WATER FROM THE UTILITIES DEPARTMENT. THIS METER SHOULD BE ORDERED TWO WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. THE UNLAWFUL REMOVAL OF WATER FROM A FIRE HYDRANT IS A VIOLATION OF THE MUNICIPAL CODE, PUNISHABLE BY FINE AND/OR IMPRISONMENT.
- O. PRIVATE ON-SITE WATER AND SEWER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE AS ADOPTED BY THE CITY.

OWNER

105-83-001A

A.P.N.

ROOSEVELT ELEMENTARY SCHOOL DISTRICT NO. 66

6000 S. 7TH ST. PHOENIX, AZ 85042 PHONE: (602) 243-4800

DEVELOPER

DESERT BOTANICAL GARDEN 1201 N GALVIN PARKWAY PHOENIX, AZ 85008 PHONE: (480) 309-3481 CONTACT: NICOLAS DE LA FUENTE

ARCHITECT

ORCUTT WINSLOW 2929 N CENTRAL AVENUE PHOENIX, AZ. 85012 PH: (602) 257-1764 CONTACT: ALI ABBASZADEGAN

SITE AREA

GROSS AREA: 850,916 S.F. / 19.53 A.C. NET AREA: 812,189 S.F. / 18.65 A.C. DISTURBED: 94,793 S.F. / 2.18 A.C.

THE PROPOSED PROJECT WILL PROVIDE A COMMUNITY GARDEN / FARM AND MIXED USE SPACE ON A VACANT PROPERTY FOR EDUCATIONAL AND CULTIVATION

BENCHMARK

POINT NAME: 102 CITY OF PHOENIX ELEVATION: 1126.912 (NAVD29) DESCRIPTION:

BASIS OF BEARING

BASIS OF BEARING GRID NORTH, ARIZONA SPC (CENTRAL ZONE), NAD83(92).

FLOOD ZONE DESIGNATION

FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. DESIGNATION DETERMINED BY FEMA FLOOD ZONE MAP 04013C2215L, COMMUNITY NUMBER 040051, PANEL NUMBER 2215 OF 4425, EFFECTIVE DATE OCTOBER 16,

THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 1 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ALSO KNOWN AS THE SOUTH HALF OF FARM UNIT "G". EXCEPT THE WEST 25.00 FEET FOR ROADWAY AS CONVEYED TO THE CITY OF PHOENIX IN DOCKET 7346, PAGE 78 RECORDS OF MARICOPA COUNTY, ARIZONA. (PER DEED 20030654876, M.C.R.)

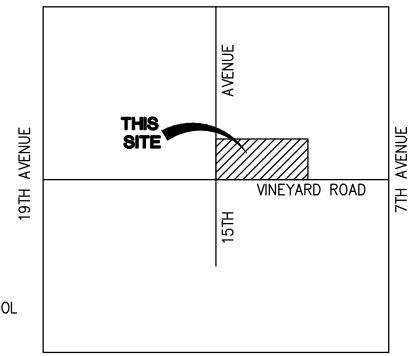
AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTRATION NUMBER

TRACKING NUMBERS 1700313 KIVA# 17-1628 Q.S.# 2-26 1702488 PAPP# CCPH# 1700188 CPPA# 1800851





SOUTHERN AVENUE

BASELINE ROAD

VICINITY MAP

ENGINEER

HILGARTWILSON 2141 E. HIGHLAND AVE. STE #250 PHOENIX, AZ 85016 PH: (602) 490-0535 FAX: (602) 368-2436 CONTACT: JULIE DIMARIA

SHEET INDEX

OFFSITE PAVING PLAN - COVER SHEET OFFSITE PAVING PLAN C4.1

C4.2 OFFSITE PAVING PLAN C4.3

OFFSITE PAVING PLAN

PROJECT DESCRIPTION

B.C. IN H.H. AT THE INTERSECTION OF 7TH AVENUE AND VINEYARD

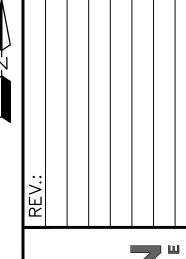
HE SUBJECT PROPERTY LIES WITHIN A ZONE X WITH A DEFINITION OF: AREAS OF 500-YEAR

LEGAL DESCRIPTION

REGISTERED ENGINEER/LAND SURVEYOR

DWG. NO.

U:\1800\1809\ENGR\PLANS\CDS\OFFSITE\1809 - C4.0 - CVR.dwg 3/13/2018 9:35 AM





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